

CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 1 December 2015	Classification For General Release	
Report of Director of Planning		Wards involved Regent's Park	
Subject of Report	Bentinck Close, 76-82 Prince Albert Road, London, NW8 7RY		
Proposal	Roof extension to provide four new residential (Class C3) units (3x3 bed and 1x4 bed) with external terraces and planters.		
Agent	JLL		
On behalf of	Coinsun Ltd		
Registered Number	15/00496/FULL	TP / PP No	TP/25237
Date of Application	21.01.2015	Date amended/ completed	11.11.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Outside Conservation Area (but abuts the St John's Wood Conservation Area)		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Outside Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission.





BENTINCK CLOSE, 76-82 PRINCE ALBERT ROAD, NW8

2. SUMMARY

The application building is a seven storey block of 40 flats built in the 1920s. The application site is not located within a conservation area and does not contain a listed building. It does abut the St John's Wood Conservation Area to the south, which includes the neighbouring block of flats (Park View).

The applicant seeks planning permission for a single storey roof extension over the entire block. This extension would contain four flats and be of a contemporary design, including terracotta louvre screens and areas of green roof. Existing rooftop plant would be relocated to the basement. The applicant also proposes enclosing the existing service stairs and installing new lifts.

The main issues for consideration are:

- Provision of additional residential units;
- Impact of the proposed extension on the character and appearance of the existing building and the setting of the adjacent St John's Wood Conservation Area;
- Impact of the proposed extension on the amenity of existing residents on and off the application site; and
- Provision of sufficient car parking.

The residential units are supported in principle by the development plan and would provide an acceptable standard of accommodation. Subject to recommended conditions, the roof extension would not harm the character and appearance of the existing building or the setting of the adjacent St John's Wood Conservation Area. Whilst the amenity concerns of local residents are understood, the proposal does not give rise to a loss of amenity of such magnitude that permission could sustainably be refused. Subject to recommended conditions, the proposal would also provide satisfactory car and cycle parking. Accordingly, the proposed development has been recommended for conditional approval.

3. CONSULTATIONS

COUNCILLOR ROBERT RIGBY

Request that the concerns of residents are considered and that this application is referred to the Planning Applications Committee.

ST JOHN'S WOOD SOCIETY

Concerned that the roof extension would result in a loss of light to neighbours.

ENVIRONMENTAL HEALTH

Object to proposed layout and absence of an acoustic report. However, they have recommended conditions to overcome these concerns.

HIGHWAYS PLANNING MANAGER

Undesirable but could be made acceptable. Have recommended conditions requiring provision of acceptable car and cycle parking.

CLEANSING MANAGER

No objection.

BUILDING CONTROL

Any response to be reported verbally.

THAMES WATER

There appears to be insufficient wastewater capacity for the proposed development. Request condition requiring that the applicant submit a Drainage Strategy to the City Council before development commences to address this.

Sufficient water capacity exists to accommodate the proposed development.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 225; Total No. of Replies: 5

In summary, the issues raised include the following:

- The proposed flats would result in increased noise for existing residents within Bentinck Close. An acoustic assessment and double glazing should be provided to address this;
- The proposed extension would result in loss of light for the occupants of other flats within Bentinck Close and Charlbert Court;
- No assessment has been provided to demonstrate the level of light loss to other flats within Bentinck Close;
- The proposed flats and their terraces would result in loss of privacy through overlooking for the occupants of existing flats within Bentinck Close;
- The proposed extension would be overly dominant when viewed from other flats within Bentinck Close;
- Light from the proposed extension would adversely affect existing residents within Bentinck Close;
- The proposal would result in unacceptable levels of light loss to skylights serving top floor flats;
- Contend that there are minor inaccuracies in the drawings that should be addressed;
- No affordable housing is proposed.

These issues are considered in the body of the main report below.

ADVERTISEMENT/SITE NOTICE: Yes

4. BACKGROUND INFORMATION

4.1 The Application Site

The application site is located on the western side of Prince Albert Road. It contains a seven storey block of 40 flats built in the 1920s. This building has a U-shaped plan form set around a landscaped courtyard. It is of brick and stone clad concrete frame construction, with a flat roof with rooftop plant rooms and chimneys. The basement level also contains plant rooms, as well as cycle space/storage, plus underground parking for 16 cars.

The application site is not located within a conservation area and does not contain a listed building. It does abut the St John's Wood Conservation Area to the south, which includes the neighbouring block of flats (Park View).

Residential apartment blocks like that found on the application site are the prevailing building type found in this locality, although four semi-detached dwellinghouses are located on land adjoining the application site to the south west. Regent's Park is located opposite the application site to the east.

4.2 Relevant Planning History

An application (91/03785/FULL) for a roof extension to create two new flats was refused in January 1992.

A further application (93/01007/FULL) for a roof extension to create two new flats was refused in April 1993.

5. THE PROPOSAL

The applicant seeks planning permission for a single storey roof extension over the entire block. This extension would contain four flats and be of a contemporary design, including terracotta louvre screens and areas of green roof. Each flat would have its own outdoor terrace. Existing rooftop plant would be relocated to the basement. The applicant also proposes enclosing the existing service stairs and installing new lifts.

The sizes of the flats are set out below:

	No. of Bedrooms	Size (m2)
Flat 1	3	118
Flat 2	3	128
Flat 3	3	106
Flat 4	4	152

6. DETAILED CONSIDERATIONS

6.1 Land Use

Policies H3 of the Unitary Development Plan (adopted 2007) (“the UDP”) and S14 of the City Plan seek to encourage the provision of more residential floorspace, including the creation of new residential units. Accordingly, the provision of residential flats on this site is supported in principle.

Policy H5 of the UDP specifies that the Council will ensure an appropriate mix of unit sizes is achieved and would normally expect at least one-third of the units to be ‘family sized’ (i.e. having three or more bedrooms). The proposed mix of units exceeds this requirement and is therefore consistent with this policy.

The proposed flats exceed the space requirements set out in the Nationally Prescribed Space Standard (March 2015) and all would be dual aspect. Each flat also has a private terrace that would provide suitable outdoor amenity space.

Overall, the proposed development would provide an acceptable standard of accommodation for future occupants and is therefore consistent with Policy S28 of the City Plan, Policies H5 and ENV 13 of the UDP.

6.2 Townscape and Design

6.2.1 Issues

Policies DES 6 and DES 12 of the UDP are directly relevant to the consideration of this application.

Policy DES 12 specifies that extensions to buildings adjacent to parks will be granted where they preserve the setting and views out from the parks, and that the extensions do not project above existing building or tree lines. Along the north side of Prince Albert Road there are a number of similarly scaled buildings, with some rising higher than this building including the extension proposed. The extension would only be visible when in close proximity to the

existing building, with the building principally being screened in views further back into the park by the heavy tree cover.

Policy DES 6 considers, amongst other issues, the appropriateness of new extensions, including their height and design. In terms of the principle of a new single storey structure to this building, it is noted that an extension has been approved to the building to the immediate west on Prince Albert Road which when built will rise up much of the height of the extension proposed, and also the building to the immediate east on Prince Albert Road is a floor higher than the application building. In views from the south, the extension would therefore not appear unduly bulky to roof level. Though the existing elevations have a cornice to their top which marks them as a visual feature in the design, the building is not considered to appear definitively as a completed composition and a further set back roof storey is considered acceptable.

The height of the extension is not markedly higher than the floors below in the main building. The principle and the height of the extension are therefore acceptable. The extension is also set back from the existing parapets around the roof perimeter to further reduce its bulk and ensure that it does not dominate the existing building.

The design is comprised principally of a main elevation line screened in very large part by a continuous series of vertical fins to the outside of both solid and glazed parts of the elevations, giving a unified but very blank and imposing visual impression to the extension. There is little visual relationship between the design of the extension and the formal arrangement of windows to the existing building below, and on this basis it can be seen as running contrary to the aims and objectives of Policy DES 6 which seeks to ensure the design of roof extensions is appropriate to the building they are located on. The southern elevation is the most clearly visible given the longer views possible from Regent's Park and to this elevation the blank run of vertical fins which comprises the external expression of the extension is not considered appropriate when seen in context with the attractive and balanced harmony and symmetry of window openings and balconies set into the brickwork elevations of the main building. As such, an amending condition is recommended which would require the removal of the fins from the central part of this elevation, in an area to line up with the main central area of brickwork to the main elevation lined up above the centrally located main entrance to the building. Behind this area of fins is a principally solid area of extension with two windows set in which would help give some solid visual feature, lined up with the solidity of the brickwork to the central part of the main elevation below, and thereby provide some visual link between the extension and the main building to help integrate its design better into the overall composition of the building. The windows behind this area are relatively small and the loss of any solar shading from the fins to such small windows would be more limited. With this condition attached to more clearly integrate the design of the extension with the most public street elevation of the building, the extension is considered acceptable in design terms.

Subject to the recommended conditions, the proposed extension would not harm the character and appearance of the existing building and would preserve the setting of the adjacent St John's Wood Conservation Area. Accordingly, the proposal would be consistent with Policies S25 and S28 of the City Plan (adopted 2013) and Policies DES1, DES 5 and DES 6 of the UDP.

6.3 Amenity (Daylight and Sunlight/Sense of Enclosure/Privacy/Noise and Disturbance)

Several objections have been received in relation to potential loss of light from the proposed extension. UDP Policy ENV13 seeks to protect existing premises, particularly residential from a loss of daylight and sunlight as a result of new development. Permission would not normally be granted where developments result in a material loss of daylight or sunlight.

Regard is to be had to BRE's "Site Layout Planning for Daylight and Sunlight – A Guide to Good Practice" (2011) ("the BRE Guide"). The BRE stress that the numerical values are not intended to be prescriptive in every case and are intended to be interpreted flexibly depending on the circumstances since natural lighting is only one of many factors in site layout design. For example, in an area with modern high rise buildings, a higher degree of obstruction may be unavoidable if new developments are to match the height and proportions of existing buildings.

The applicant has submitted a Light Study and addendum to demonstrate compliance with the BRE Guide. This study has assessed all windows facing the subject property and that are most likely to be affected by the new extension in comparison to the existing building.

The applicant has assessed the impact of the proposed extension on flats within the top three floors of the existing building. These flats would be the most susceptible to light loss after the extension by virtue of their close proximity to it. The applicant has also assessed light loss to all surrounding residential buildings, including the following:

- 52-61 Charlbert Court;
- 62-71 Charlbert Court;
- 1-16 Tower Court;
- 58-74 Viceroy Court;
- 83-86 Park View;
- 6-12 Charlbert Street;
- 1-10 Charlbert Court.

6.3.1 Daylight

In assessing daylight levels, the Vertical Sky Component (VSC) is the most commonly used method. It is a measure of the amount of light reaching the outside face of a window. If the VSC achieves 27% or more, the BRE advise that the window will have the potential to provide good levels of daylight. The BRE Guide also recommends consideration of the distribution of light within rooms served by these windows. Known as the No Sky Line (NSL) method, this is a measurement of the area of working plane within these rooms that will receive direct daylight from those that cannot. With both methods, the BRE Guide also suggests that reductions from existing values of more than 20% should be avoided as occupiers are likely to notice the change.

The use of the affected rooms has a major bearing on the weight accorded to the effect on residents' amenity as a result of material losses of daylight. For example, loss of light to living rooms, dining rooms, bedrooms, studies and large kitchens (if they include dining space and are more than 12.6m²) are of more concern than loss of light to non-habitable rooms such as stairwells, bathrooms, small kitchens and hallways.

Flats Within Bentinck Close

The majority of windows would comply with the BRE Guide. Two windows on the seventh floor of 16-29 Bentinck Close would incur VSC losses exceeding the BRE Guide. However, these windows are secondary windows to rooms lit by at least one other window that would be BRE compliant. In accordance with the BRE Guide, the mean value of VSC loss for windows to the rooms affected would exceed 0.8 times its former value and the level of light loss would therefore be unnoticeable.

Of the 60 rooms tested, three would have NSL losses of 0.7 times their former value, which would marginally exceed BRE Guidelines. Given the minor nature of this transgression, the fact that VSC levels would remain high and the urban nature of the application site, refusal of permission on this ground would not be sustainable.

Flats within Surrounding Buildings

The proposed extension would not result in VSC losses exceeding the BRE Guide. Three rooms within 52-61 Charlbert Court would have NSL losses of 0.7 times their former value. Given the minor nature of this transgression, the fact that VSC levels would remain high and the urban nature of the application site, refusal of permission on this ground would not be sustainable.

6.3.2 Sunlight

The BRE guidelines state that rooms will appear reasonably sunlit provided that they receive 25% of annual probable sunlight hours, including at least 5% of annual winter sunlight hours. A room will be adversely affected if the resulting sunlight level is less than the recommended standards and reduced by more than 20% of its former values and if it has a reduction in sunlight received over the whole year greater than 4% of annual probable sunlight hours.

Flats Within Bentinck Close

The Light Study concludes that the proposal would not result in sunlight loss exceeding BRE guidance for flats on the application site.

Flats within Surrounding Buildings

The windows facing the application site and within 83-86 Park View and 6-12 Charlbert Street are not orientated within 90 degrees of due south. As such, they do not qualify for sunlight assessment under the BRE Guide.

Of the remaining windows that do qualify, six out of 198 windows have sunlight losses that exceed BRE guidance. These windows are on the second and third floors of 52-64 and 61-71 Charlbert Court. Of these six windows, one serves a stairwell and therefore does not qualify for assessment. Four windows serve bedrooms rather than living rooms and therefore sunlight is of less importance to the use of these rooms according to the BRE Guide. Notwithstanding this, these bedrooms also have a second set of windows with BRE compliant sunlight levels. Accordingly, an objection to the proposal on this ground would not be sustainable.

One living room window does qualify for assessment and would have sunlight levels below BRE guidance. However, this loss only marginally exceeds that BRE tests. Given this and the high level of compliance with BRE guidance for all other relevant windows despite the application site's location in a dense urban area, an objection to the development on this basis would not be sustainable.

6.3.3 Sense of Enclosure

The proposed extension would increase the height of this building by approximately 3.2 metres. This height would be relatively modest in comparison to the approximately 20 metre height of the existing building. It would also be located approximately 18 horizontal metres away from the nearest residential unit on a neighbouring site. It would also be located approximately 16 horizontal metres away from other flats on-site whilst those located perpendicular to the extensions would have only oblique views of it. Given the relatively modest height increase and the relatively large separation distance between the proposed extension and nearby residential properties, the proposal would not result in a significantly increased sense of enclosure for the occupants of neighbouring or nearby residential properties. Accordingly, the proposed development would be consistent with Policy ENV13 of the UDP and Policy S29 of the City Plan.

6.3.4 Privacy

Concerns have been raised regarding loss of privacy to neighbouring properties.

The proposed flats would be located above existing flats which already have outlook over the other flats within Bentinck Close and other residential properties surrounding the application site. The existing flats also have a varied internal arrangement which means that bedrooms already have the potential to overlook living rooms and vice versa. Many existing flats also have balconies which would have a comparable outlook and ability to accommodate potentially noisy people to those proposed under this application. In this context, the proposed extension and flats would not result in a significant increase in overlooking or noise in comparison to the existing situation.

Given the above, the proposal would not result in significant increases in overlooking and is therefore consistent with Policy ENV13 of the UDP and Policy S29 of the City Plan.

6.3.5 Noise and disturbance

The City Council's Environmental Health officer has raised concerns with the location of bedrooms on the noisy Prince Albert Road frontage of the site. They have also requested an acoustic assessment with regards to potential noise increases from the lifts on-site as a result of the proposal. However, the Environmental Health officer has recommended conditions controlling plant noise and vibration levels and requiring submission of supplementary acoustic reports with full details of all the plant equipment and sound insulation to be used to ensure that the Council's residential noise standards are met. Accordingly, it would be unreasonable to withhold permission where acceptable noise and vibration levels can be secured by condition. Accordingly, and subject to these conditions, an objection to the scheme on this basis could not be sustained.

6.4 Highways, Servicing and Parking

6.4.1 Car Parking

There are currently 17 parking spaces available within the basement parking area. Of these, the applicant indicates that six will be available to the proposed flats. This would be consistent with Policy TRANS 23 of the UDP, which requires the provision of four to six on-site parking spaces for the proposed flats.

The Highways Planning Manager advises that the existing development pre-dates current planning law and therefore it is considered unlikely to have a condition linking the existing spaces to the existing residential units. As such, it would be difficult to sustain a reason to refuse the application on this basis. However, a plan has not been submitted indicating which spaces will be linked to which units. The applicant has also not provided any information to demonstrate that the provision of these spaces would compromise the ability of existing residents to have adequate parking. Accordingly, a condition is recommended that requires the applicant to demonstrate that these five spaces will be provided and maintained for the lifetime of the development.

6.4.2 Cycle Parking

Policy 6.9 of The London Plan (Further Amendments – March 2015) ("London Plan") requires the provision of two cycle parking spaces per residential unit of two or more bedrooms. The applicant has indicated that this would be provided within the storage area for each flat proposed within the basement. A condition is recommended to secure details of this and to safeguard their provision for the future. Subject to this condition, the proposal would be consistent with Policy 6.9 of the London Plan.

6.4.3 Waste and Recycling Storage

The submitted drawings do not indicate where waste and recyclable material would be stored. However, waste from this building is currently stored in three 1,000 litre waste storage containers and there is space for an additional container if required. Accordingly, sufficient waste storage exists for the proposed flats.

6.5 Economic Considerations

None relevant.

6.6 Equalities and Diversities (including disabled access)

The proposed flats would all be accessible by lifts and will be single level. Accordingly, they would provide suitable accommodation for disabled persons.

6.7 London Plan

The proposal does not raise strategic issues.

6.8 National Planning Policy Framework (NPPF)

The relevant NPPF considerations have been assessed above.

6.9 Planning Obligations

The proposed development is not large enough to require completion of a S106 agreement.

6.10 Environmental Assessment including Sustainability and Biodiversity Issues

6.10.1 Sustainability

Policy 5.2 of the London Plan refers to minimising carbon dioxide emissions and states that development proposals should make the fullest contribution to minimising carbon dioxide emissions in accordance with the following energy hierarchy:

1. Be Lean-Use less energy.
2. Be Clean-Supply energy efficiently.
3. Be Green-Use renewable energy.

Policy 5.2 E of the London Plan states that where specific targets cannot be fully achieved on-site, any shortfall may be provided off-site or through a cash in lieu contribution to secure delivery of carbon dioxide savings elsewhere.

Policy S28 of the City Plan requires developments to incorporate exemplary standards of sustainable and inclusive urban design and architecture.

The applicant has submitted a Sustainability and Energy Statement that indicates that the proposal would achieve Code for Sustainable Homes Level 4. Achievement of this level would meet the aspirations of the above policies, although recent changes introduced by Central Government prohibit the City Council from requiring this by condition.

6.11 Other UDP/Westminster Policy Considerations

6.11.1 Other Matters

An objector is concerned that light from the proposed extension would harm the amenity of existing residents within Bentinck Close. However, the proposed extension and flats are of a domestic scale and located above the flats below. It is not anticipated that they would result in lighting levels that would harm the amenity of existing residents, particularly when it is also considered that the existing flats already cause high levels of light spill/glow. Accordingly, refusal of the permission on this basis would be unsustainable.

An objector is also concerned that the proposal would result in light loss to existing skylights despite the applicant retaining light tunnels to these skylights. However, the BRE Guide does not accommodate light loss to skylights as they will always be well lit by virtue of their skyward orientation. As the BRE Guide forms the basis for assessing light loss under current policy, an objection on this ground could not be sustained.

The same objector is also of the view that the proposed flats should not have more skylights than they do. As the proposed skylights would not be visible from surrounding properties, they would therefore have no appreciable impact on the character and appearance of the building. As they provide additional light to the proposed flats, they also do not harm the amenity of future residents. Accordingly, a refusal on this basis would be untenable.

The proposed development does not provide more than 1000m² of floorspace. Accordingly, no affordable housing is required under current policy.

Loss of rental income is not a material planning consideration.

6.12 Conclusion

The residential units are supported in principle by the development plan and would provide an acceptable standard of accommodation. Subject to recommended conditions, the roof extension would not harm the character and appearance of the existing building or the setting of the adjacent St John's Wood Conservation Area. Whilst the amenity concerns of local residents are understood, the proposal does not give rise to a loss of amenity of such magnitude that permission could sustainably be refused. Subject to recommended conditions, the proposal would also provide satisfactory car and cycle parking. Accordingly, the proposed development has been recommended for conditional approval.

BACKGROUND PAPERS

1. Application form.
2. Email from Councillor Robert Rigby dated 21 March 2015.
3. Email from St John's Wood Society dated 13 March 2015.
4. Email from Thames Water dated 18 February 2015.
5. Memorandum from Highways Planning Manager dated 16 November 2015.
6. Memorandum from Arboricultural Manager dated 11 February 2015.
7. Memorandum from Environmental Health dated 9 February 2015.
8. Representations from owner/occupier of 57 Charlbert Court dated 9 February 2015.
9. Representations from owner/occupier of 6-8 Charlbert Street dated 24 February 2015.
10. Representation from Knight Frank dated 24 February 2015.

11. Representations from owner/occupier of 12 Charlbert Street dated 2 March 2015.
12. Representation from owner/occupier of 28 Bentinck Close dated 5 March 2015.
13. Representation from owner/occupier of 34 Bentinck Close dated 5 March 2015.
14. Representations from owner/occupier of 36 Bentinck Close dated 6 March 2015.

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT OLIVER GIBSON ON 020 7641 2680 OR BY E-MAIL – ogibson@westminster.gov.uk

DRAFT DECISION LETTER

- Address:** Bentinck Close, 76-82 Prince Albert Road, London, NW8 7RY
- Proposal:** Roof extension to provide four new residential (Class C3) units (3x3 bed and 1x4 bed) with external terraces and planters.
- Plan Nos:** Drawing numbers 302.PL-001, -002 Revision A, -003 Revision A, -004 Revision A, -005 Revision A, -006 Revision A, -007 Revision A, -009 Revision A, -010, -011, -013, -014, -015, -016, -017, -018, -019, -020, -021, -025, -026; Planning Statement by JLL (January 2015); Daylight and Sunlight Report by eb7 (13 January 2015); Sustainability and Energy Statement by Max Fordham (20 January 2015); Daylight/Sunlight Addendum by eb7 (10 November 2015)
- Case Officer:** Nathan Barrett **Direct Tel. No.** 020 7641 5943

Recommended Condition(s) and Reason(s):

- 1 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 2 You must carry out any building work which can be heard at the boundary of the site only:

- * between 08.00 and 18.00 Monday to Friday;
- * between 08.00 and 13.00 on Saturday; and
- * not at all on Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11AA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 3 All new work to the outside of the building must match existing original work in terms of the choice of materials, method of construction and finished appearance. This applies unless differences are shown on the drawings we have approved or are required by conditions to this permission. (C26AA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 4 You must apply to us for approval of samples of the facing materials you will use, including glazing, and elevations and roof plans annotated to show where the materials are to be located. You must not start any work on these parts of the development until we have approved what

you have sent us. You must then carry out the work using the approved materials. (C26BC)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 5 You must apply to us for approval of detailed drawings showing the following alteration(s) to the scheme:-

Vertical fins omitted from the following section of the southern elevation of the extension to Block 1 facing onto Prince Albert Road:- between the western end of the solid pier behind the fins to the west side of the western-side central bathroom to this elevation and the eastern end of the eastern pier behind the fins to the eastern-side central bathroom to this elevation, and a drawing showing the materials proposed to finish these elements of the elevation.

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 6 You must not put any machinery or associated equipment, ducts, tanks, satellite or radio aerials on the roof, except those shown on the approved drawings. (C26PA)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 7 You must apply to us for approval of detailed elevations and sections (Scale 1:20) showing the design of the vertical fins including their supporting framework and their integration with the design of the main body of the extension.

You must not start any work on these parts of the development until we have approved what you have sent us. You must then carry out the work according to these drawings. (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of the area. This is as set out in S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1 and DES 5 or DES 6 or both of our Unitary Development Plan that we adopted in January 2007. (R26AD)

- 8 **Pre Commencement Condition.** The development hereby approved shall not commence until a drainage strategy detailing any on and/or off site drainage works, has been submitted to and approved in writing by, the local planning authority in consultation with Thames Water. No

discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

Reason:

The development may lead to sewage flooding; to ensure that sufficient capacity is made available to cope with the new development; and in order to avoid adverse environmental impact upon the community.

- 9 **Pre Commencement Condition.** No development shall take place, including any works of demolition, until a construction management plan for the proposed development has been submitted to and approved in writing by the City Council as local planning authority. The plan shall provide the following details:
- (i) a construction programme including a 24 hour emergency contact number;
 - (ii) parking of vehicles of site operatives and visitors (including measures taken to ensure satisfactory access and movement for existing occupiers of neighbouring properties during construction);
 - (iii) locations for loading/unloading and storage of plant and materials used in constructing the development;
 - (iv) erection and maintenance of security hoardings (including decorative displays and facilities for public viewing, where appropriate);
 - (v) wheel washing facilities and measures to control the emission of dust and dirt during construction; and
 - (vi) a scheme for recycling/disposing of waste resulting from demolition and construction works.

You must not start work until we have approved what you have sent us. You must then carry out the development in accordance with the approved details.

Reason:

To protect the environment of residents and the area generally as set out in S29 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 23, ENV 5 and ENV 6 of our Unitary Development Plan that we adopted in January 2007.

- 10 You must not occupy the residential units until we have approved appropriate arrangements to secure the following.

-Six on-site car parking spaces to be maintained for the exclusive use of the residential units.

In the case of the above benefit, you must include in the arrangements details of when you will provide the benefit, and how you will guarantee this timing. You must only carry out the development according to the approved arrangements.

Reason:

To make sure that the development provides the planning benefits that have been agreed, as set out in S33 of Westminster's City Plan: Strategic Policies adopted November 2013 and in TRANS 23 of our Unitary Development Plan that we adopted in January 2007.

- 11 You must apply to us for approval of details of secure cycle storage for the residential use. You must not start any work on this part of the development until we have approved what you have sent us. You must then provide the cycle storage in line with the approved details prior to occupation. You must not use the cycle storage for any other purpose.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

12 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing LA90, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time

after implementation of the planning permission.

- 13 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 14 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 15 The design and structure of the development shall be of such a standard that it will protect residents within the same building or in adjoining buildings from noise and vibration from the development, so that they are not exposed to noise levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same or adjoining buildings from noise and vibration from elsewhere in the development.

- 16 You must apply to us for approval of details of a supplementary acoustic report demonstrating that the plant will comply with the Council's noise criteria as set out in Condition 12 of this permission. You must not start work on this part of the development until we have approved what you have sent us.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels.

- 17 You must apply to us for approval of sound insulation measures and a Noise Assessment Report to demonstrate that the residential units will comply with the Council's noise criteria set out in Condition 14 of this permission. You must not start work on this part of the development until we have approved what you have sent us. You must then carry out the work according to

the details approved before the residential units are occupied and thereafter retain and maintain.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 18 You must not use the roof of the extension for sitting out or for any other purpose. You can however use the roof to escape in an emergency. (C21BA)

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 19 The three bedroom residential units shown on the approved drawings must be provided and thereafter shall be permanently retained as accommodation which (in addition to the living space) provides three separate rooms capable of being occupied as bedrooms.

Reason:

To protect family accommodation as set out in S15 of Westminster's City Plan: Strategic Policies adopted November 2013 and H 5 of our Unitary Development Plan that we adopted in January 2007. (R07DC)

Informative(s):

- 1 When carrying out building work you must do all you can to reduce noise emission and take suitable steps to prevent nuisance from dust and smoke. Please speak to our Environmental Health Service to make sure that you meet all requirements before you draw up the contracts for demolition and building work.

Your main contractor should also speak to our Environmental Health Service before starting work. They can do this formally by applying to the following address for consent to work on construction sites under Section 61 of the Control of Pollution Act 1974.

24 Hour Noise Team
Environmental Health Service
Westminster City Hall
64 Victoria Street
London
SW1E 6QP

Phone: 020 7641 2000

Our Environmental Health Service may change the hours of working we have set out in this permission if your work is particularly noisy. Deliveries to and from the site should not take place outside the permitted hours unless you have our written approval. (I50AA)

- 2 You are encouraged to join the nationally recognised Considerate Constructors Scheme. This commits those sites registered with the Scheme to be considerate and good neighbours, as well as clean, respectful, safe, environmentally conscious, responsible and accountable. For more information please contact the Considerate Constructors Scheme directly on 0800 783 1423, siteenquiries@ccscheme.org.uk or visit www.ccscheme.org.uk.
- 3 Asbestos is the largest single cause of work-related death. People most at risk are those working in the construction industry who may inadvertently disturb asbestos containing materials (ACMs). Where building work is planned it is essential that building owners or occupiers, who have relevant information about the location of ACMs, supply this information to the main contractor (or the co-ordinator if a CDM project) prior to work commencing. For more information, visit the Health and Safety Executive website at www.hse.gov.uk/asbestos/regulations.htm (I80AB)
- 4 Under the Construction (Design and Management) Regulations 2007, clients, the CDM Coordinator, designers and contractors must plan, co-ordinate and manage health and safety throughout all stages of a building project. By law, designers must consider the following:
- * Hazards to safety must be avoided if it is reasonably practicable to do so or the risks of the hazard arising be reduced to a safe level if avoidance is not possible;
 - * This not only relates to the building project itself but also to all aspects of the use of the completed building: any fixed workplaces (for example offices, shops, factories, schools etc) which are to be constructed must comply, in respect of their design and the materials used, with any requirements of the Workplace (Health, Safety and Welfare) Regulations 1992. At the design stage particular attention must be given to incorporate safe schemes for the methods of cleaning windows and for preventing falls during maintenance such as for any high level plant.
- Preparing a health and safety file is an important part of the regulations. This is a record of information for the client or person using the building, and tells them about the risks that have to be managed during future maintenance, repairs or renovation. For more information, visit the Health and Safety Executive website at www.hse.gov.uk/risk/index.htm.
- It is now possible for local authorities to prosecute any of the relevant parties with respect to non compliance with the CDM Regulations after the completion of a building project, particularly if such non compliance has resulted in a death or major injury.
- 5 You must ensure that the environment within a workplace meets the minimum standard set out in the Workplace (Health, Safety and Welfare) Regulations 1992 with respect to lighting, heating and ventilation. Detailed information about these regulations can be found at www.hse.gov.uk/pubns/indg244.pdf. (I80DB)
- 6 Regulation 12 of the Workplace (Health, Safety and Welfare) Regulations 1992 requires that every floor in a workplace shall be constructed in such a way which makes it suitable for use. Floors which are likely to get wet or to be subject to spillages must be of a type which does not become unduly slippery. A slip-resistant coating must be applied where necessary. You must also ensure that floors have effective means of drainage where necessary. The flooring must be fitted correctly and properly maintained.
- Regulation 6 (4)(a) Schedule 1(d) states that a place of work should possess suitable and

sufficient means for preventing a fall. You must therefore ensure the following:

- * Stairs are constructed to help prevent a fall on the staircase; you must consider stair rises and treads as well as any landings;
- * Stairs have appropriately highlighted grip nosing so as to differentiate each step and provide sufficient grip to help prevent a fall on the staircase;
- * Any changes of level, such as a step between floors, which are not obvious, are marked to make them conspicuous. The markings must be fitted correctly and properly maintained;
- * Any staircases are constructed so that they are wide enough in order to provide sufficient handrails, and that these are installed correctly and properly maintained. Additional handrails should be provided down the centre of particularly wide staircases where necessary;
- * Stairs are suitably and sufficiently lit, and lit in such a way that shadows are not cast over the main part of the treads.

- 7 Every year in the UK, about 70 people are killed and around 4,000 are seriously injured as a result of falling from height. You should carefully consider the following.

- * Window cleaning - where possible, install windows that can be cleaned safely from within the building.
- * Internal atria - design these spaces so that glazing can be safely cleaned and maintained.
- * Lighting - ensure luminaires can be safely accessed for replacement.
- * Roof plant - provide safe access including walkways and roof edge protection where necessary (but these may need further planning permission).

More guidance can be found on the Health and Safety Executive website at www.hse.gov.uk/falls/index.htm.

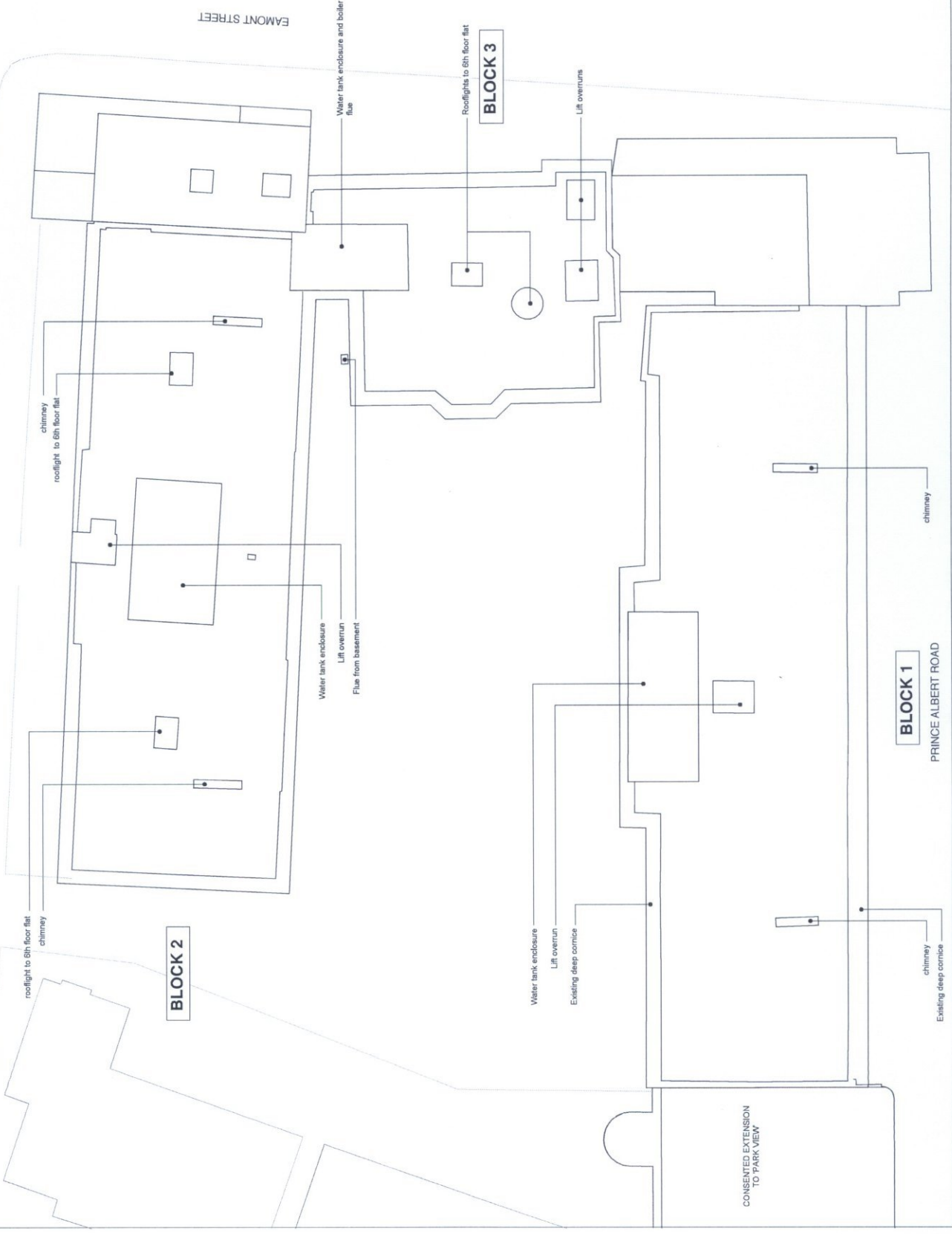
Note: Window cleaning cradles and tracking should blend in as much as possible with the appearance of the building when not in use. If you decide to use equipment not shown in your drawings which will affect the appearance of the building, you will need to apply separately for planning permission. (I80CB)

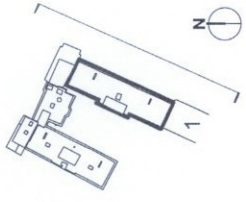
- 8 Approval for this residential use has been given on the basis of façade sound insulation and ventilation mitigation measures being incorporated into the development to prevent ingress of external noise. Occupiers are therefore advised, that once the premises are occupied, any request under the Licensing Act 2003, Environmental Protection Act 1990, Control of Pollution Act 1974 or planning legislation for local authority officers to make an assessment for noise nuisance arising from external sources is likely to be undertaken only if the noise and ventilation mitigation measures installed are in operation i.e. windows kept closed and ventilation scheme utilised.
- 9 The supplementary acoustic report relating to plant must include:
- (a) A schedule of all plant and equipment installed;
 - (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
 - (c) Manufacturer specifications of sound emissions in octave or third octave detail;
 - (d) The location of all most affected noise sensitive receptor locations and the most affected windows;
 - (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
 - (f) The lowest existing L A90 (15 minutes) measurement as already established.

- (g) New noise monitoring data, measurement evidence and any calculations demonstrating that plant complies with the planning condition.
- 10 Under condition 10, we are likely to accept a legal agreement under section 106 of the Town and County Planning Act to secure a contribution towards on-street parking surveys. Please look at the template wordings for planning obligations (listed under 'Supplementary planning guidance') on our website at www.westminster.gov.uk. Once the wording of the agreement has been finalised with our Legal and Administrative Services, you should write to us for approval of this way forward under this planning condition.

MACKENNA STREET

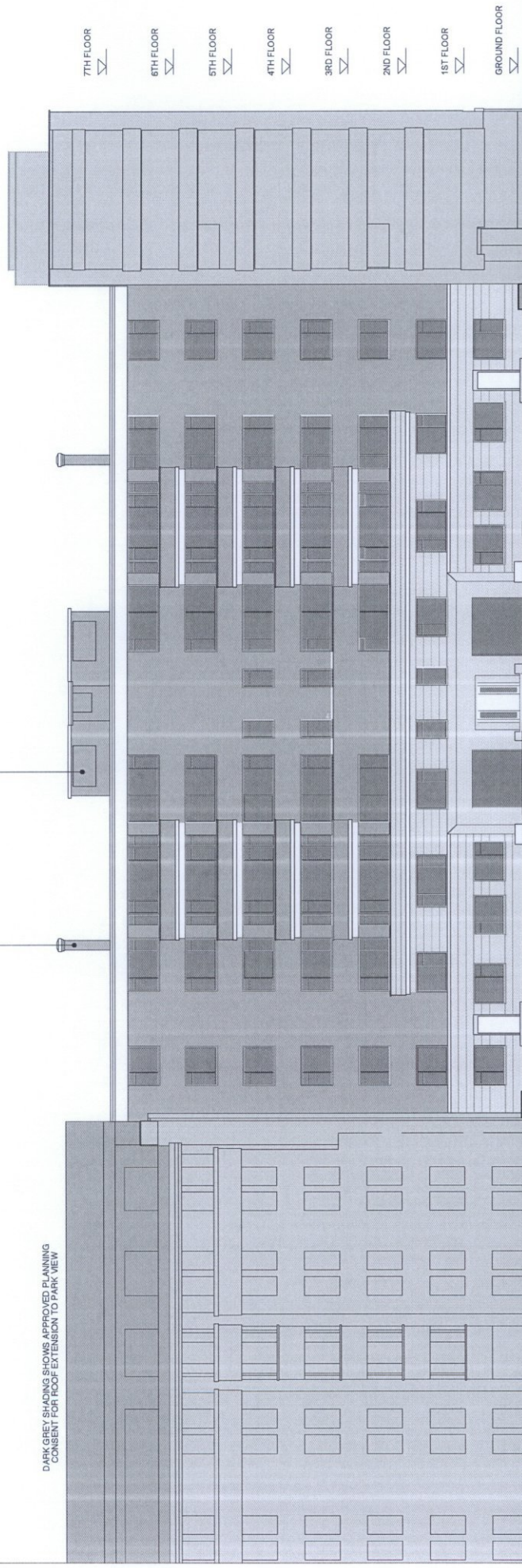
EAMONT STREET





Water tank enclosure and lift overrun
Brick chimneys

DARK GREY SHADING SHOWS APPROVED PLANNING
CONSENT FOR ROOF EXTENSION TO PARK VIEW



PARK VIEW

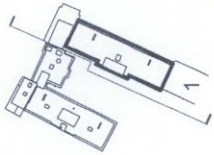
BENTINCK CLOSE - BLOCK 1

75 PRINCE ALBERT RD.
EAMONT ST.

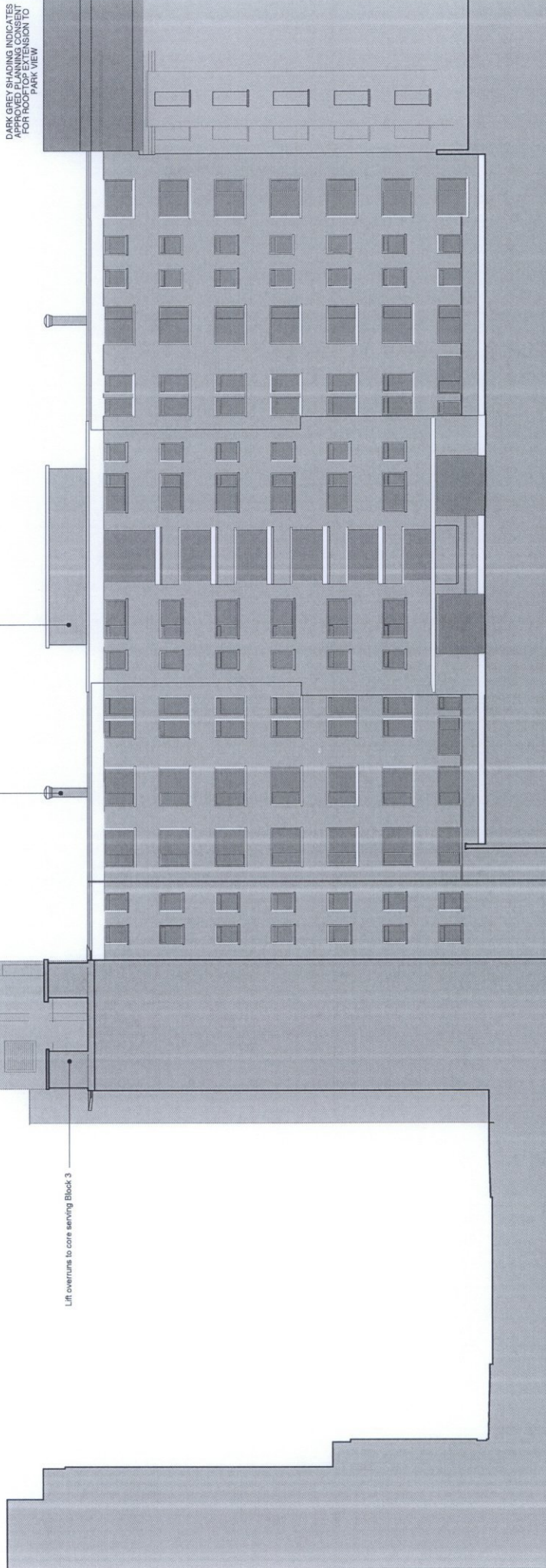
DRAWING: BLOCK 1: EXISTING EAST ELEVATION
TO PRINCE ALBERT ROAD
CLIENT: COINSUN LTD
PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302_PL_014
SCALE: 1:200 @ A3 / (1:100 @ A1)
DATE: JANUARY 2015
DRAWING STATUS: PLANNING

McDowell+Benedetti
ARCHITECTS
100, JARVIS ROAD
LONDON, N1 1JF
020 7415 2000
www.mcdowellbenedetti.com



Water tank enclosure and lift overrun
Brick chimneys



DARK GREY SHADING INDICATES
PROPOSED EXTENSION
FOR ROOFTOP EXTENSION TO
PARK VIEW

Lift overruns to core serving Block 3

EAMONT ST.

BENTINCK CLOSE - BLOCK 1

PARK VIEW

DRAWING: BLOCK 1: EXISTING WEST ELEVATION
TO COURTYARD

CLIENT: COINSUN LTD

PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

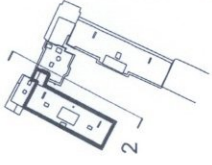
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SCALE: 1:200 @ A3 / (1:100 @ A1)

DATE: JANUARY 2015

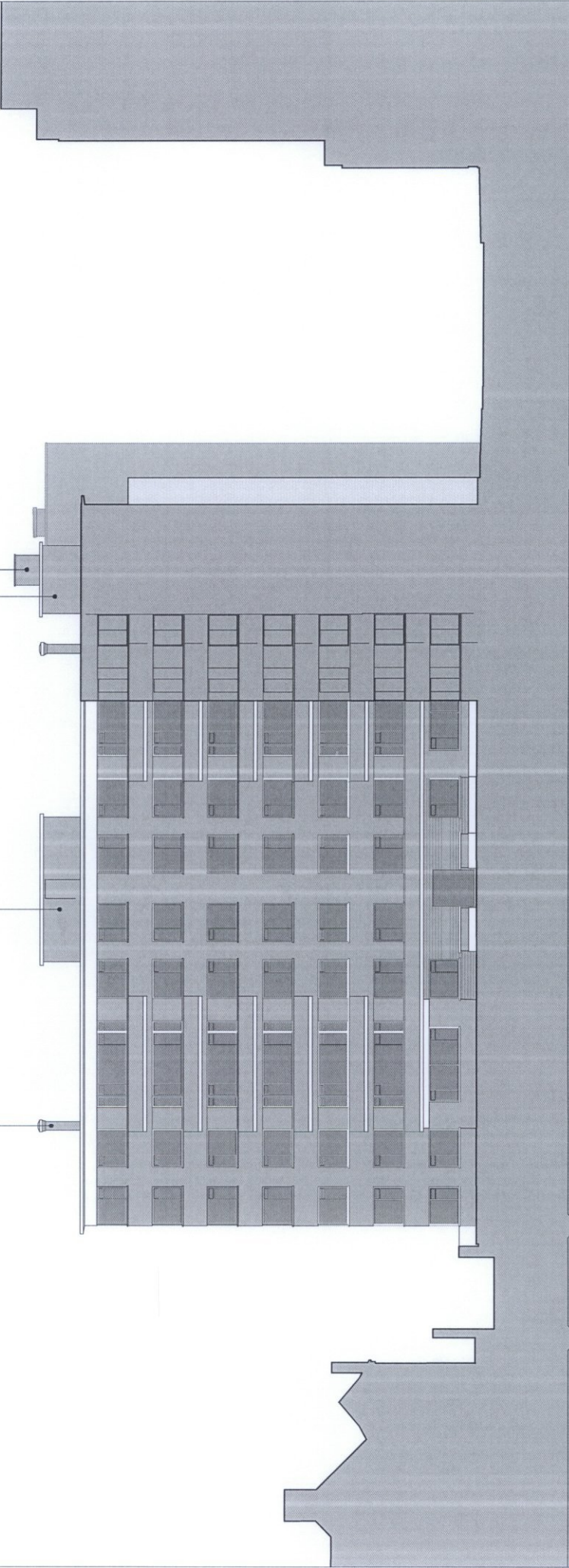
DRAWING STATUS: PLANNING

McDowell+Benedetti
302, Park Square, London, EC1R 4EX
www.mcdowellbenedetti.com
T: 020 3475 2000
F: 020 3475 2001



Water tank enclosure and lift overrun
Black chimneys

Boiler flue to Block 3
Water tank enclosure to Block 3



BENTINCK CLOSE - BLOCK 2

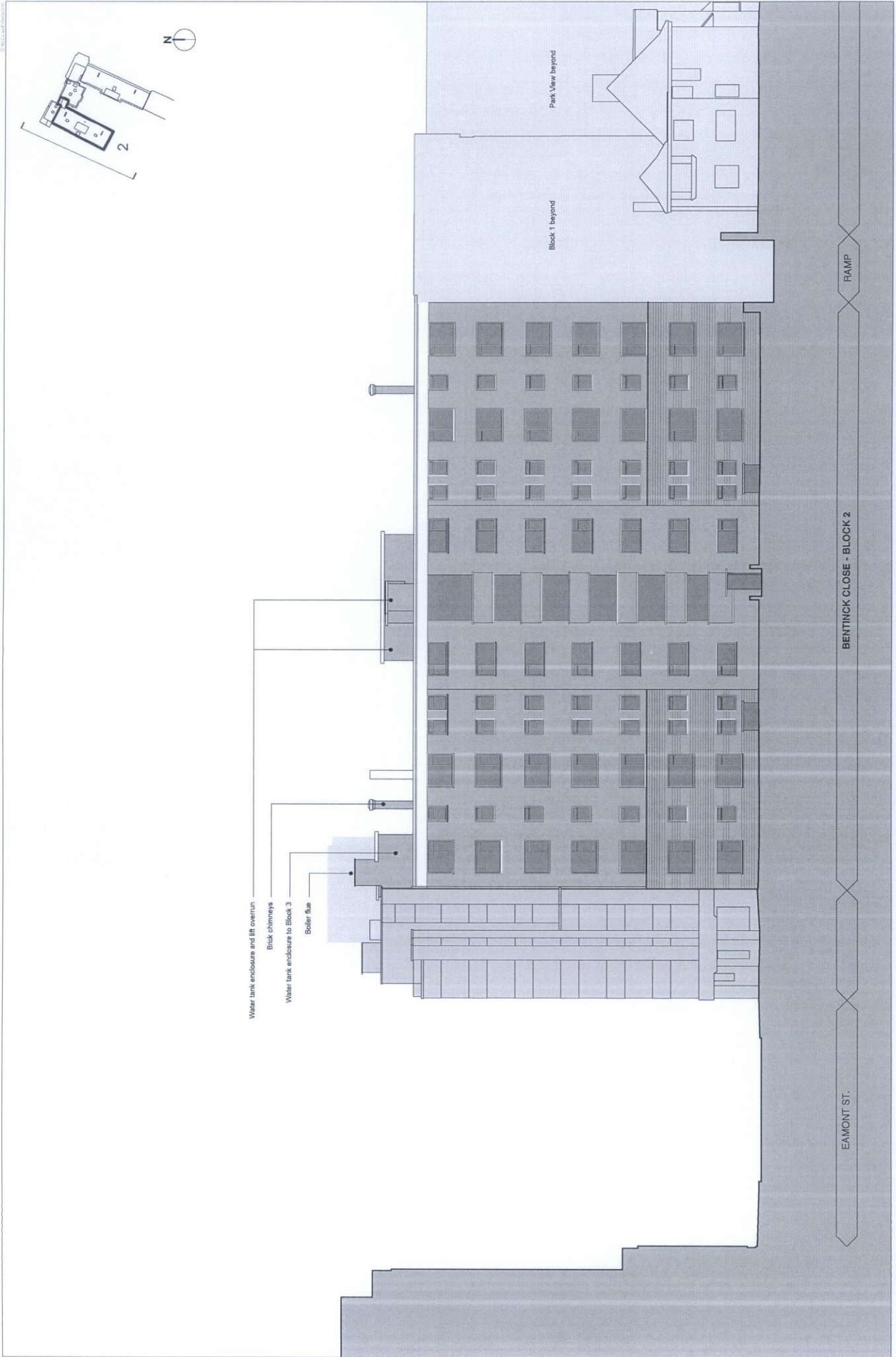
RAMP

EAMONT ST.

DRAWING: BLOCK 2: EXISTING EAST ELEVATION TO COURTYARD
CLIENT: CONSUN LTD
PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302_PL_016
SCALE: 1:200 @ A3 / (1:100 @ A1)
DATE: JANUARY 2015
DRAWING STATUS: PLANNING

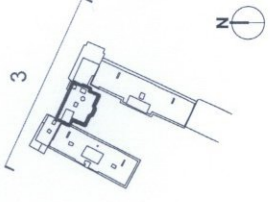
McDowell + Benedetto
34-35 Nelson Gardens, London EC1N 8DY
www.mcdowellandbenedetto.com
t. 020 3492 7500
f. 020 3492 7501



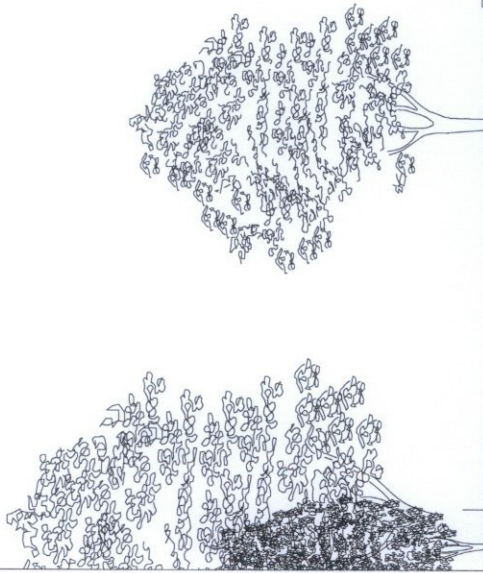
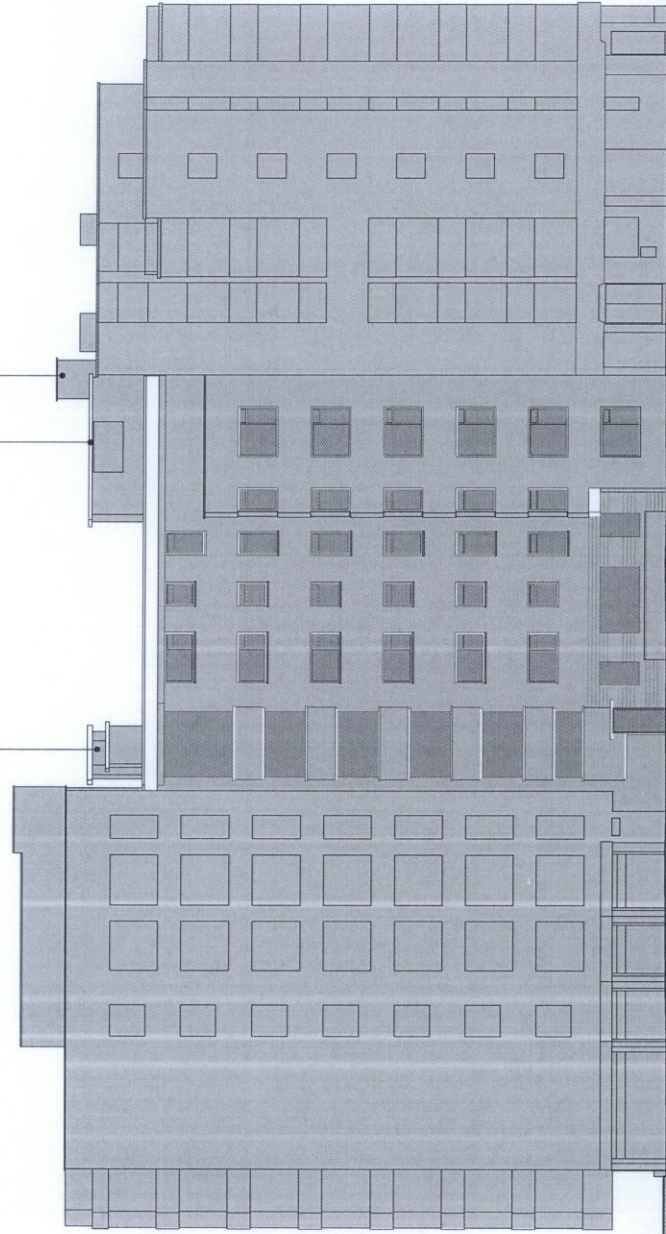
DRAWING: BLOCK 2: EXISTING WEST ELEVATION
 TO MACKENNA STREET
 CLIENT: COINSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL.017
 SCALE: 1:200 @ A3 / 1:100 @ A1
 DATE: JANUARY 2015
 DRAWING STATUS: PLANNING

McDowell+Benedetti
 34-35 Holborn Gardens, London EC1N 2DX
 email: McDowell+Benedetti.com
 L 020 3475 5000
 F 020 3475 7001



Boiler flue
Water tank enclosure
Lift overruns



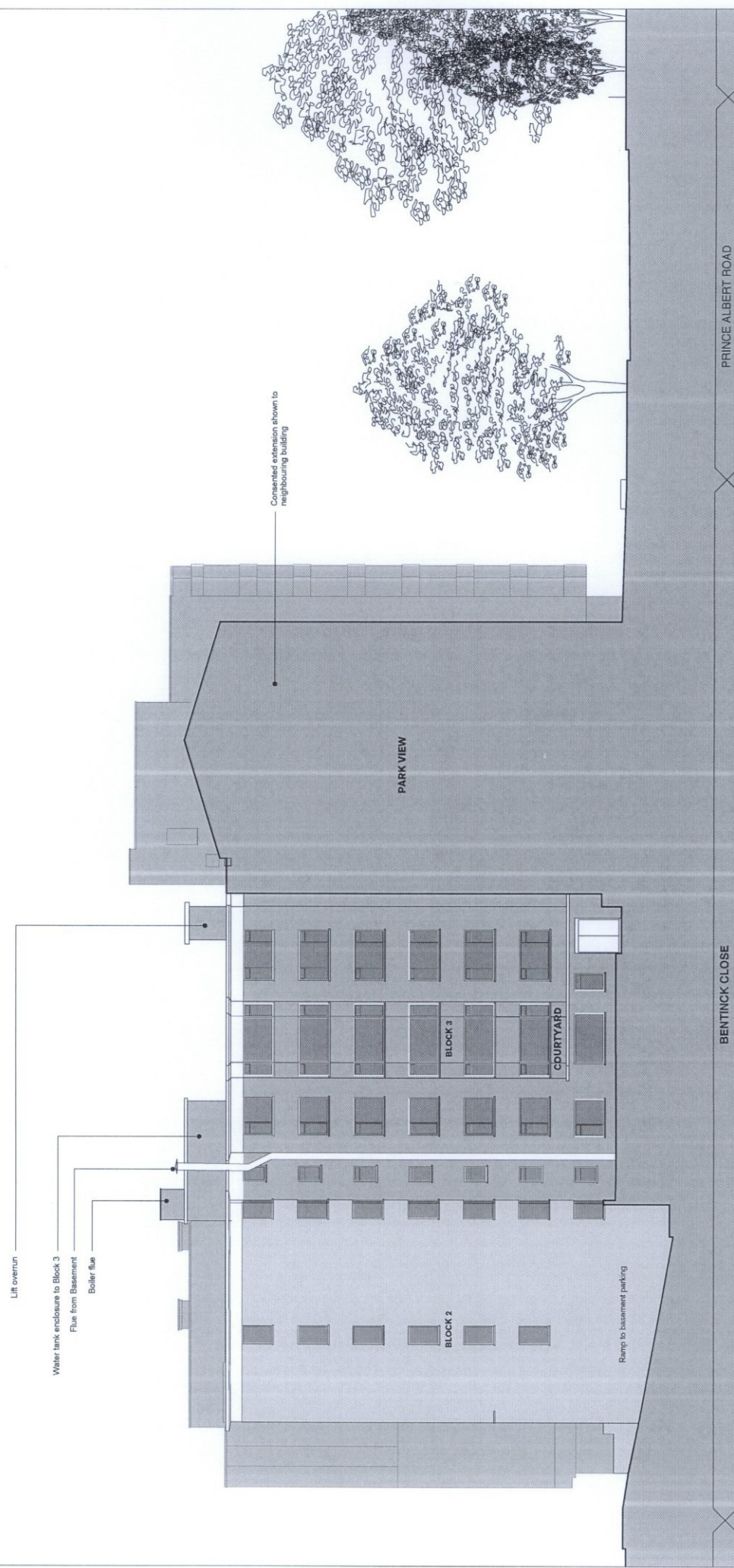
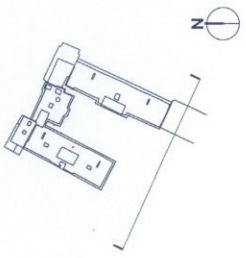
75 PRINCE ALBERT RD.

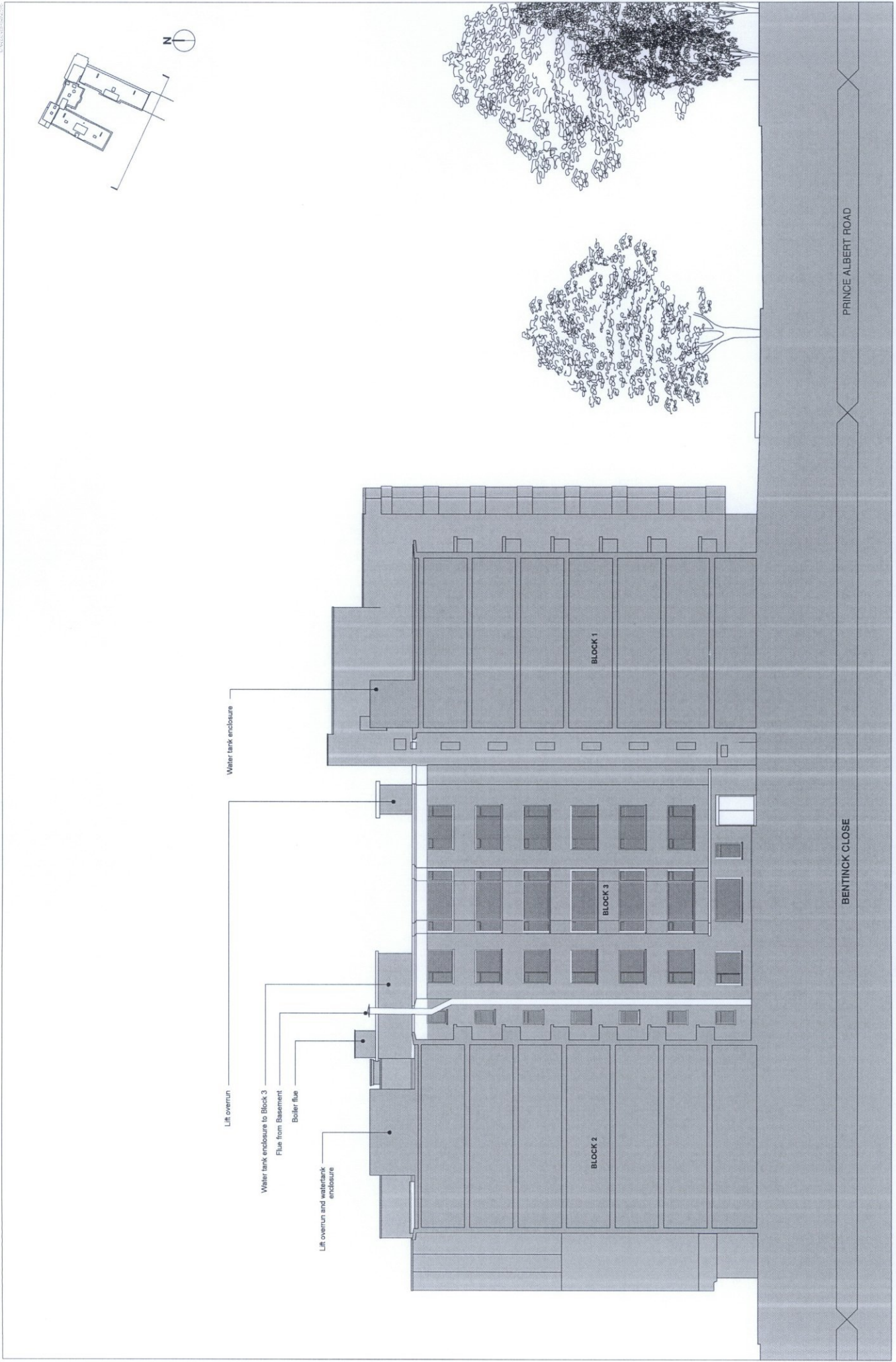
BENTINCK CLOSE - BLOCK 3

DRAWING: EXISTING NORTH ELEVATION
TO EMMONT STREET
CLIENT: COINSUN LTD
PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL.01.8
SCALE: 1:200 @ A3 / (1:100 @ A1)
DATE: JANUARY 2015
DRAWING STATUS: PLANNING

McDowell+Benedetti
34-35 Palace Gardens, London EC1R 7BQ
enquiries@mcdbenedetti.com
t. 020 3495 7500
f. 020 3495 7501

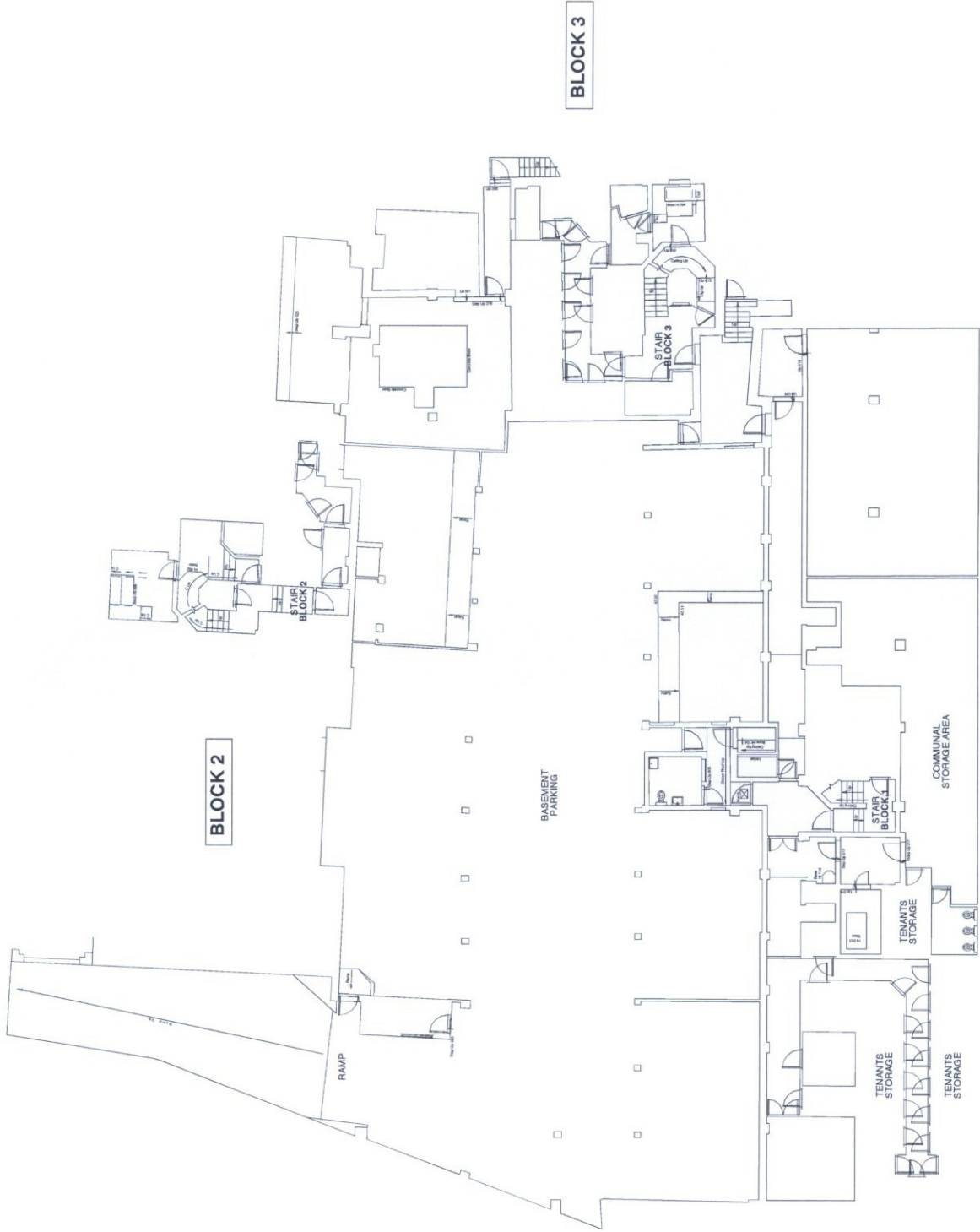




DRAWING: EXISTING SECTION AA
TO COURTYARD
CLIENT: COINSUN LTD
PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL.020
SCALE: 1:200 @ A3 / (1:100 @ A1)
DATE: JANUARY 2015
DRAWING STATUS: PLANNING

McDowell+Benedetti
34-35 Bishopsgate, London EC2N 3BQ
info@McDowellBenedetti.com
L 020 3475 7000
L 020 3475 7001



BLOCK 1

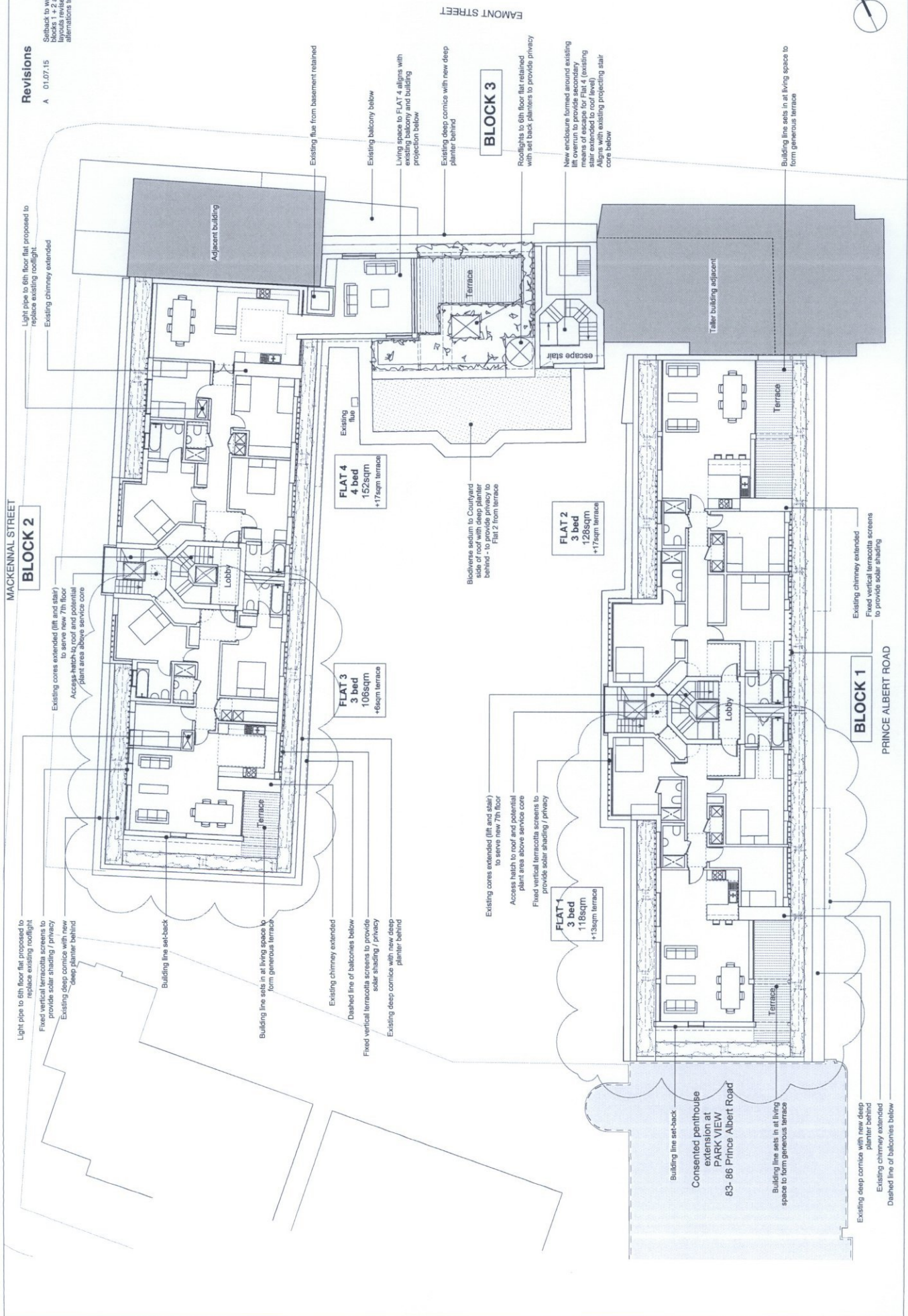
BLOCK 2

BLOCK 3



Revisions
A 01.07.15

Setback to west end of blocks 1 + 2 and flat 1 + 3 to align with existing alterations to windows



Light pipe to 6th floor flat proposed to replace existing rooflight.
Existing chimney extended

BLOCK 2

Existing cores extended (lift and stair) to serve new 7th floor
Access hatch to roof and potential plant area above services core

Light pipe to 6th floor flat proposed to replace existing rooflight
Fixed vertical terracotta screens to provide solar shading / privacy
Existing deep cornice with new deep planter behind

Building line set-back

Building line sets in at living space to form generous terrace

Existing chimney extended

Dashed line of balconies below
Fixed vertical terracotta screens to provide solar shading / privacy
Existing deep cornice with new deep planter behind

FLAT 3
3 bed
106sqm
+18sqm terrace

FLAT 4
4 bed
152sqm
+17sqm terrace

Existing cores extended (lift and stair) to serve new 7th floor
Access hatch to roof and potential plant area above service core
Fixed vertical terracotta screens to provide solar shading / privacy

FLAT 1
3 bed
118sqm
+13sqm terrace

FLAT 2
3 bed
128sqm
+17sqm terrace

Biodiverse solum to courtyard side of roof with deep planter behind - to provide privacy to Flat 2 from terrace

BLOCK 3

Existing deep cornice with new deep planter behind
Rooflights to 6th floor flat retained with set back planters to provide privacy

New enclosure formed around existing lift overrun to provide secondary means of escape for Flat 4 (existing lift overrun to be retained)
Aligns with existing projecting stair core below

Building line sets in at living space to form generous terrace

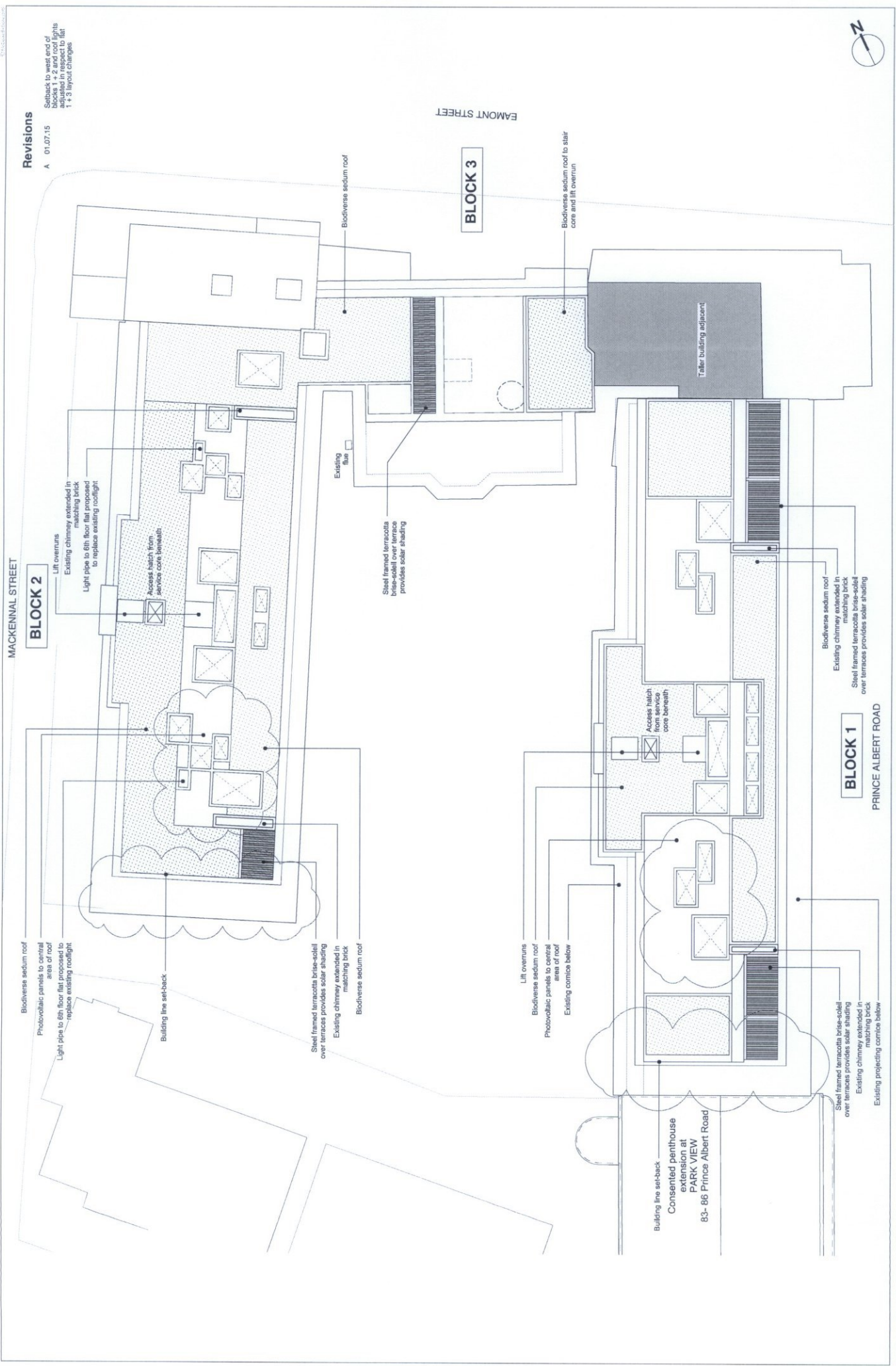
BLOCK 1

Existing chimney extended
Fixed vertical terracotta screens to provide solar shading

Building line set-back
Consented penthouse extension at PARK VIEW
83- 86 Prince Albert Road

Building line sets in at living space to form generous terrace

Existing deep cornice with new deep planter behind
Existing chimney extended
Dashed line of balconies below



Revisions
 A 01.07.15
 Setback to west end of blocks 1 + 2 and roof lights to be replaced to fit 1 + 3 layout changes

McDowell+Benedetti
 34-36 Habor Quay, London EC1A 8DX
 1.000.3475.7600
 email@mcdbb.com

DRAWING NO. 302.PL.003 Revision A
 SCALE: 1:200 @ A3 / 1:100 @ A1
 DATE: JULY 2015
 DRAWING STATUS: PLANNING

DRAWING: PROPOSED ROOF PLAN
 CLIENT: COINSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

Building fire set-back
 Consented penthouse extension at
 PARK VIEW
 83- 86 Prince Albert Road

PRINCE ALBERT ROAD

EMONT STREET

MACKENNAL STREET

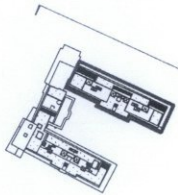
BLOCK 2

BLOCK 3

BLOCK 1

Taller building adjacent



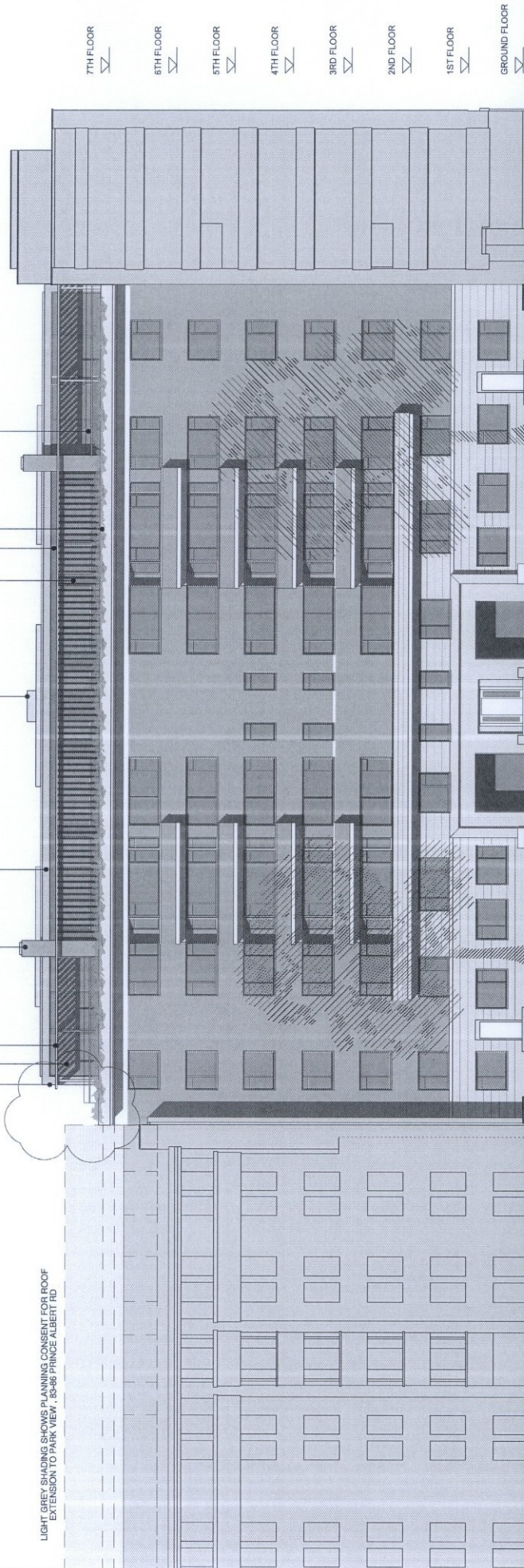


Revisions

A 01.07.15 Setback to west end and minor alterations to windows

- Metal cladding trim to roof edge
- Existing chimneys extended in matching brick
- Terracotta brise-soleil with steel frame provides solar shading to terrace
- Steel frame extends across facade, uniting full height composite glazing to living spaces
- Building line set-back
- Metal clad lift overrun set back in centre of plan
- Terracotta louvre screens upper central portion of elevation and provides solar shading
- Mid-grey recessed cladding panels
- Continuous set-back planter forms extension of existing cornice
- Glazed balustrade to terrace, set-back behind planter

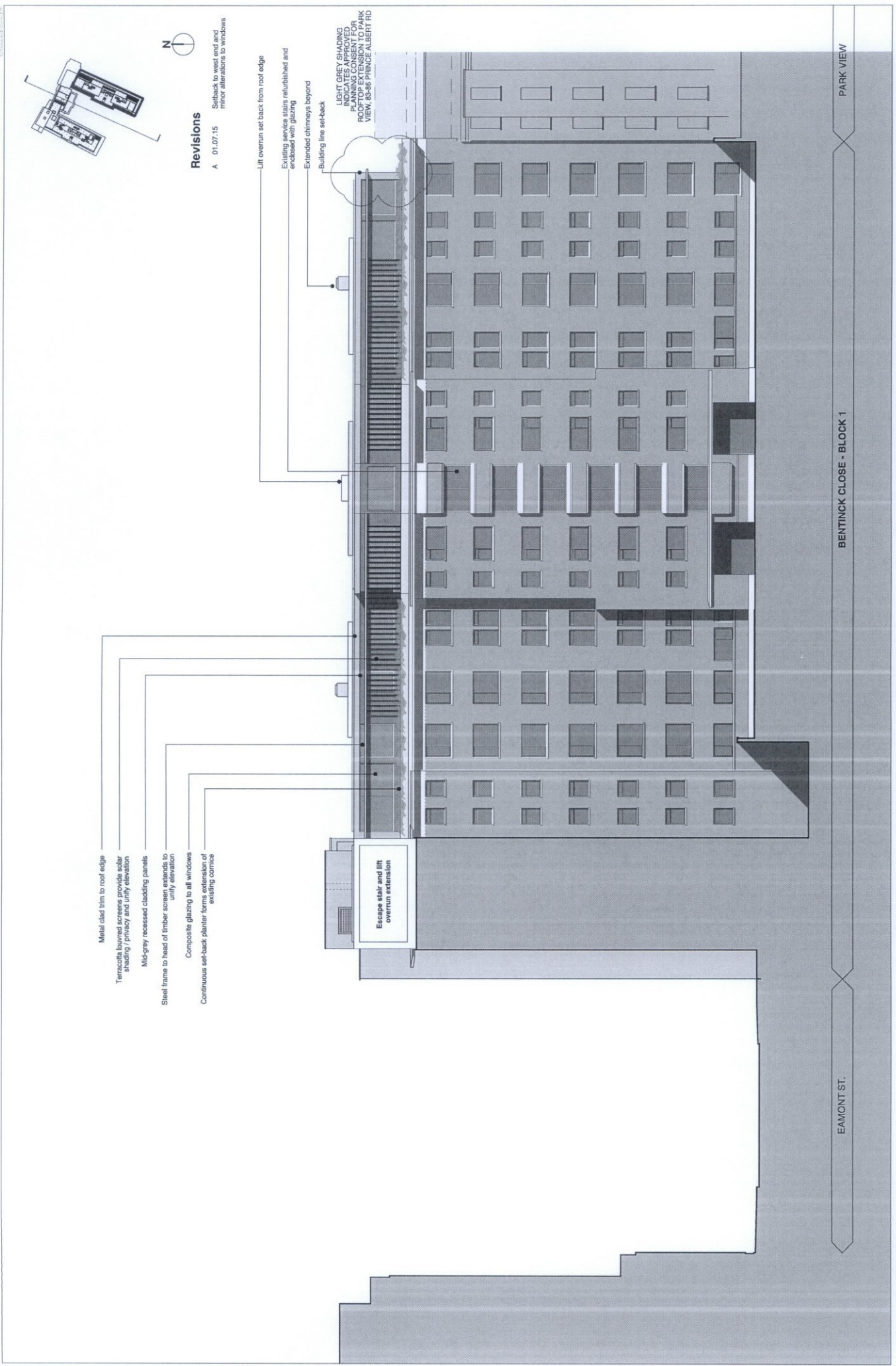
LIGHT GREY SHADING SHOWS PLANNING CONSENT FOR ROOF EXTENSION TO PARK VIEW, 28-28 PRINCE ALBERT RD



DRAWING: BLOCK 7, PROPOSED EAST ELEVATION TO PRINCE ALBERT ROAD
 CLIENT: CONSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL004 Revision A
 SCALE: 1:200 @ A3 / (1:100 @ A1)
 DATE: JULY 2015
 DRAWING STATUS: PLANNING

McDowell+Benedetti
 34-35 Nelson Garden, London EC1N 8DQ
 t. 020 3492 7500
 e. info@mcdb.com



- Metal clad trim to roof edge
- Terracotta louvred screens provide solar shading / privacy and unify elevation
- Mid-grey recessed cladding panels
- Steel frame to head of timber screen extends to unify elevation
- Composite glazing to all windows
- Continuous set-back planter forms extension of existing cornice

Escape stair and lift overrun extension

LIGHT GREY SHADING INDICATES APPROVED PLANNING CONSENT FOR PARK VIEW, BENTINCK CLOSE, PARK VIEW, 85-86 PRINCE ALBERT RD

Revisions

- A 01.07.15 Setback to west end and minor alterations to windows

- Lift overrun set back from roof edge
- Existing service stairs refurbished and encased with glazing
- Extended chimneys beyond Building line set-back

EAMONT ST.

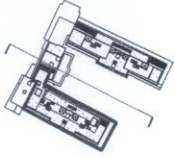
BENTINCK CLOSE - BLOCK 1

PARK VIEW

DRAWING: BLOCK 1: PROPOSED WEST ELEVATION TO COURTYARD
 CLIENT: COINSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302_PL_005 Revision A
 SCALE: 1:200 @ A3 / (1:100 @ A1)
 DATE: JULY 2015
 DRAWING STATUS: PLANNING

McDowell + Benedetti
 34-35 Nelson Gardens, London EC1N 8BX
 t: 020 3495 5000
 e: info@mcdoowellbenedetti.com



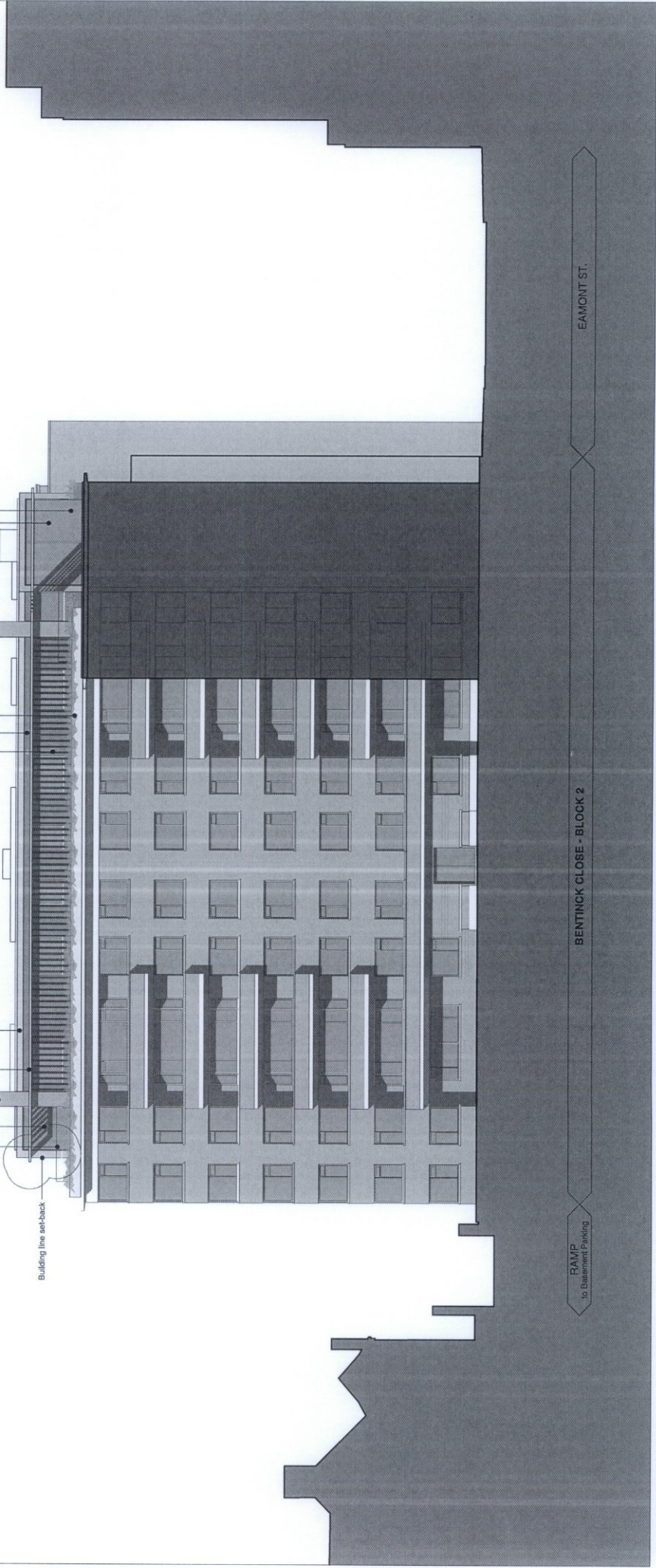
Revisions

- A 01.07.15 Setback to west end and minor alterations to windows

- Terracotta louvred screens provide solar shading / privacy and unify elevation
- Mid-grey recessed cladding panels
- Continuous set-back planter forms extension of existing cornice
- Terrace to Flat 4
- Composite glazing to all windows
- Existing boiler flue

- Metal clad trim to roof edge
- Steel frame to head of timber screen extends to unify elevation
- Existing chimneys extended in matching brickwork
- Composite glazing to all windows
- Glazed balustrade to terrace, set-back behind planter

Building line set-back



EAMONT ST.

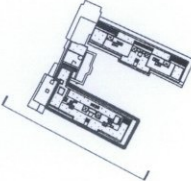
BENTINCK CLOSE - BLOCK 2

RAMP to Basement Parking

DRAWING: BLOCK 2: PROPOSED EAST ELEVATION TO COURTYARD
 CLIENT: COINSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW6 7RY

DRAWING NO: 302 PL006 Revision A
 SCALE: 1:200 @ A3 / 1:100 @ A1
 DATE: JULY 2015
 DRAWING STATUS: PLANNING

McDowell+Benedetti
 24-26 Nelson Square, London EC1N 8BX
 L 020 3475 7600
 F 020 3475 7601
 email@McDowell+Benedetti.com



- Existing service stairs refurbished and encased with glazing
- Metal clad trim to roof edge
- Steel frame to head of terracotta screen extends to unity elevation
- Extended chimneys beyond
- Terracotta loured screens unity elevation and provide solar shading / privacy
- Mil-grey recessed cladding panels
- Continuous set-back planter forms extension of existing cornice
- Composite glazing to all windows

Revisions

- A 01.07.15 Setback to west end and minor alterations to windows

Building line set-back



BLOCK 1 BEYOND

PARK VIEW BEYOND

EAMONT ST.

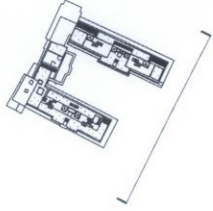
BENTINCK CLOSE - BLOCK 2

RAMP to Basement Parking

DRAWING: **BLOCK 2: PROPOSED WEST ELEVATION TO COURTYARD**
 CLIENT: CONSUN LTD
 PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL.007 Revision A
 SCALE: 1:200 @ A3 / (1:100 @ A1)
 DATE: JULY 2015
 DRAWING STATUS: PLANNING

McDowell+Benedetti
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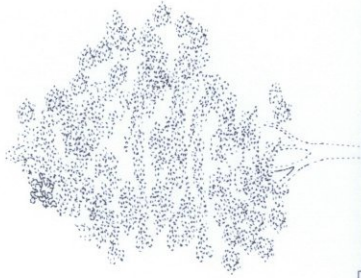
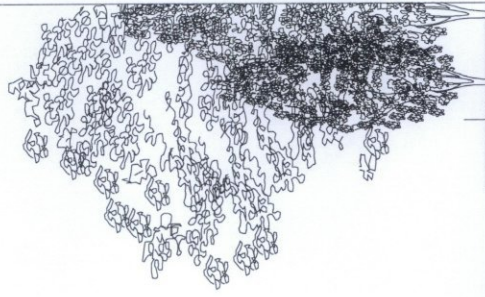
Revisions

A 01.07.15 Setback to west end and minor alterations to windows

Metal cladding
Existing chimneys extended in matching brickwork
Terracotta brise-soleil with steel frame provides solar shading to terrace. Steel frame extends across facade, unifying elevation
Glazed balustrade to terrace, set-back behind planter
Continuous set-back planter forms extension of existing cornice
Metal cladding

Metal cladding
Existing chimneys extended in matching brickwork
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Glazed balustrade to terrace, set-back behind planter
Continuous set-back planter forms extension of existing cornice
Metal cladding

Outline indicates approved planning consent for rooftop extension to Park View, B3-B6 Prince Albert Rd.



PARK VIEW

BLOCK 2

BLOCKS

COURTYARD

Ramp to basement parking

BENTINCK CLOSE

PRINCE ALBERT ROAD

DRAWING: PROPOSED SOUTH ELEVATION TO COURTYARD

CLIENT: COINSUN LTD

PROJECT: BENTINCK CLOSE, LONDON, NW8 7RY

DRAWING NO: 302.PL.009 Revision A

SCALE: 1:200 @ A3 / (1:100 @ A1)

DATE: JULY 2015

DRAWING STATUS: PLANNING

McDowell+Benedetti

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